



MAYOR

Linda Blechinger

CITY ADMINISTRATOR

Alex W. Mitchem

CITY COUNCIL

Peggy J. Langley

Robert L. Vogel III

Bill Ackworth

Jay L. Riemenschneider

PLANNING COMMISSION

Kim Skriba

Sandy Wilson

Carolyn Wade

Kevin Camon

Beau Bland

PLANNING COMMISSION

AGENDA

DECEMBER 15, 2021

6:00 p.m.

CALL TO ORDER

1. APPROVAL OF MINUTES – November 17, 2021.

NEW BUSINESS

2. *OAR21-01: DOWNTOWN OVERLAY DISTRICT ARCHITECTURAL REVIEW; 1376 3RD AVE; ALTERATIONS TO EXISTING BUILDING FOR PROPOSED GROCERY STORE; APPLICANT: JUST CONSTRUCTION LLC; OWNER: KABIR NURANI.
3. *OAR21-02: DOWNTOWN OVERLAY DISTRICT REVIEW; CITY MARKET ADDITION.

CITIZEN COMMENTS

ANNOUNCEMENTS

ADJOURNMENT

***There will be no public hearing for the design review.**



MAYOR
Linda Blechinger

CITY CLERK
Joyce Brown

CITY COUNCIL
Peggy J. Langley
Robert L. Vogel III
Bill Ackworth
Jay L. Riemenschneider

PLANNING COMMISSION
MINUTES
November 11, 2021

BOARD ATTENDEES:

Kim Skriba, Chairperson
Carolyn Wade
Sandy Wilson
Kevin Camon
Beau Bland
-

CITY OFFICIALS IN ATTENDANCE:

Alex Mitchem, Community Development
Kellie Littlefield, Community Development Director

CALL TO ORDER

Kim Skriba, Chairperson called the meeting to order

1. Approval of the minutes of October 20, 2021 was made by Sandy Wilson, motion was seconded by Carolyn Wade. Motion approved.

OLD BUSINESS

No Old Business was heard.

NEW BUSINESS

Item 2: OAR 21-01: Downtown Overlay District Architectural Review; 1376 3rd Avenue – Alterations to existing building for a proposed grocery store.

Applicant – Just Construction

Owner: Kabir Nurani

Chairperson Skriba announced the item to the floor.

Community Development Director Kellie Littlefield presented the case, stating the recommendation of staff being a Table in order to have time for the applicant to comply with current design guidelines, and provide adequate information on the design.

Public hearing was opened.

The applicant, Jennie, stated the case of opening a convenience grocery store on 3rd Avenue in an existing building.

The applicant reserved time for rebuttal.

Opposition of the Public Hearing

Susan Long; 44 Van Street

Expressed concerns of the Van Street Driveway entrance. Further discussion was heard on uses of outdoor storage, video gambling and issues related to security.

Matt Paron: 33 Carolyn Street
Expressed concerns over the use installed in the building.

Carolyn Jones: XX Van Street
Expressed concerns over the stormwater, increased traffic, road conditions, impact of lighting, and requested greenspace and a buffer be imposed.

The applicant did respond to the concerns, relating to the design of the property. They stated that the property would be designed in such a way to answer all physical concerns. It was further conceded that they would work with staff to address all concerns.

The public hearing was closed by the Chairperson.
Discussion was heard by the board.

A Motion was made to table the application until staff had an opportunity to review the design by Kevin Camon. The motion was seconded by Sandy Wilson. The motion passed.

Item 3: OAR 21-02: Downtown Overlay District Review; City Market Addition

Chairperson Skriba announced the item to the floor
Director Kellie Littlefield presented the case, stated the recommendation of staff being a Table in order to have time for the applicant to comply with notes left by the previous city planner.

Public hearing was opened.
The applicant spoke in support of the application, stating their desire to be compliant, and responsive to the community in space for the store.

There were no opposition comments.
Discussion was heard by the board. Staff stated that the front design did not mesh with the previous conversations held by the former city planner on the front façade. The staff recommended that each was façade was submitted as a separate exhibit, therefore, it could be approved as individual motions.

A Motion was made to approve the rear façade as submitted by Kevin Camon, motion was seconded by Sandy Wilson.
Motion passed.

A Motion was made to approve the west façade as submitted by Kevin Camon, motion was seconded by Sandy Wilson.
Motion passed.

A Motion was made to approve the east façade as submitted by Kevin Camon, motion was seconded by Sandy Wilson.
Motion passed.

A Motion was made to table the front façade as submitted by Kevin Camon, motion was seconded by Sandy Wilson.
Motion passed.

Item 4: Annexation and Re-Zoning: 4060 E. Union Grover Circle

Applicant: Taylor Anderson

Chairperson Skriba announced the item to the floor.
Director Kellie Littlefield presented the case, stating the recommendation of staff being approval, with the condition of the corner lot having the option of access from either road, due the natural constraints of the lot.

Public hearing was opened.
The Applicant, Taylor Anderson, provided a brief overview of the property. He stated that the houses were proposed to be five in total, single family, on septic. They houses would be built utilizing a reputable builder, and the price point would begin in the \$300,000 range.

Opposition of the Public Hearing

Brian Albert

Expressed concerns over traffic, impact on his property, and stormwater impacts, and the air path of the airport. He stated that he has attempted to retain an attorney for recourse in this matter.

Laura Rodney

Expressed concerns over the value of the homes, the impact on the value of her home, and the traffic impact.

Rita Eason

Expressed concern over impacts to her property. She stated that a buffer should be put in place to compensate for any noise, traffic or environmental impacts to adjacent property owners.

The Applicant stated that all concerns by the citizens were heard, and would be approached at the time of designing for the land disturbance permit.

Discussion was heard by the board. Ms. Littlefield made a point of parliamentary procedure when a citizen spoke out to the board during discussion, as the public hearing had closed. A motion was made by Kevin Camon to approve the application, with proposed condition. The motion was seconded by Sandy Wilson. No discussion was heard, motion passed.

CITIZEN COMMENTS

No General Comments were heard

ANNOUNCEMENTS

No Announcements

ADJOURNMENT

A motion for adjournment was made by Carolyn Wade. The motion was seconded by Beau Bland. The motion passed.

**STAFF REPORT
DOWNTOWN OVERLAY DISTRICT REVIEW**

**CASE NO: OAR21-001
PROPERTY: 1376 3RD AVE**

APPLICANT: JUST CONSTRUCTION LLC 2325 FORTUNE DR, DACULA, GA 30019	PROPERTY OWNER: KABIR NURANI 1376 3 RD AVE, AUBURN, GA 30011
PHONE: 806-729-8476	PHONE: 404-936-7860
EMAIL: JUSTCONSTRUCTIONLLC.0@GMAIL.COM	EMAIL: KENNYNURANI@YAHOO.COM

Project Summary:

Owner/Applicant has requested interior and exterior modifications to existing building for a proposed grocery store. Plans submitted for exterior modifications are subject to review by the Planning Commission. Interior modifications have been reviewed and approved by the Fire Marshal and City Building Inspector.

Applicant proposes to add a portico/front porch feature to the front of the building. The porch addition consists of wood construction with traditional roofing. The existing bay doors will be removed, and the building will be closed in to allow for one front door that will serve as the main customer entrance. There are 6 new windows proposed on the front façade. Decorative raised planters are proposed along the base of the posts that support the front porch.

The rear and side facades will remain relatively unchanged. An additional storage space and walk-in cooler is proposed for the rear of the building that will be constructed on the existing loading dock.

According to the rendering that was submitted, horizontal gray siding and traditional roofing shingles are proposed.

According to the site plan, parking spaces and handicap spaces are proposed along the front of the building. A retaining wall may be required to accommodate parking areas. Additional spaces are shown along the 3rd Ave frontage.

*** Where the Commission determines that said plans do not comply with the requirements of this chapter, then the Commission shall notify the applicant in writing stating the manner in which said applicant fails to comply with such requirements. Any appeal of the Planning Commission's decision in this regard shall be to the Mayor and City Council.***

Development Standards:

Code Section	Required	Meets Requirement?
17.91.050(1)	One entrance that faces the street	Yes
(2)(a) Façade Design	Front, side, and rear façade style shall be in accordance with Victorian, Arts and Crafts, or Art Deco.	Yes. Adding architectural elements to existing building may meet the intent of the district.
(2)(b)	Minimum of 75% of street-facing façade must be comprised of clear windows that allow views of indoor space or product display areas.	No
(2)(c)	Use of bare metal, aluminum siding, metal panels, plastic, and mirrored glass shall be prohibited.	No. Existing building consists of aluminum metal siding and roofing.
(2)(e)	Exterior colors shall be compatible with the colors on adjacent buildings. Proposed colors shall be specified on the site plan. Colors must be in accordance with the preset palette of accepted colors for the district.	Yes. Architectural renderings submitted indicate the building would be a gray color.
(3)(a) Side or Rear Façade Design	Materials and features similar to those present on the front of the building shall be used on the side or rear façade.	Yes. Rear and side facades will remain unchanged.
(3)(b)	Dumpster and service areas shall be completely screen with landscaping, a fence, a wall, or a combination thereof.	Yes. Site plan shows fence enclosure.
(3)(c)	Open areas shall be landscaped. Provide foundation plantings adjacent to the building.	No. No landscape plans were submitted.

(3)(d)	Sidewalks and parking areas shall be properly lighted to facilitate safe movement of pedestrians and vehicles.	No. No lighting plans were submitted.
(4) Awnings	n/a	A covered porch is proposed rather than awnings.
(5)	Exterior lighting must be placed and shielded so as to direct light onto the site and away from adjoining properties. Floodlights, wall pack units, other types of unshielded lights, and lights where the lens is visible outside of the light fixture shall be prohibited, except where historical-style lighting is used that is compatible with historic-style street lamps installed by the City. Neon lighting as accent lighting is prohibited.	Lighting details will conform to the City's overlay, directionally away from any residential.
(6)(a) Parking	No new parking lot shall be created nor an existing parking lot expanded in front of a building unless the Planning Commission determines that parking in front of the building would be acceptable for either the following reasons. 1) front yard parking is required to maintain the continuity of front building setbacks in the block while making efficient use of the site, or 2) required for traffic safety and to minimize driveway curb cuts where the new parking lot is proposed to connect with one or more parking lots on adjoining parcels.	No. However, due to septic limitations, traffic and pedestrian safety, and proposed use, front yard parking may be appropriate.
(7)(a) Landscaping	Provide street trees at 25' increments.	No. A buffer is proposed on the rear and side of the property.

(7)(b)	Landscape Plan shall be submitted for review and approval.	No. No landscape plan was submitted.
(8) Setbacks	Max front yard setback shall be 10'. Side yard setback may be zero (0) where buildings meet fire codes. Minimum rear setback shall be 5'.	No. Existing building does not meet current requirements for front setbacks. However, existing building setbacks may be appropriate on the subject site.
(9) Building Height	Shall not exceed 45' or three stories.	Yes
17.91.060 Signage	Roof top signs are prohibited	No. Renderings show a roof top mounted sign. No other sign details were submitted. Applicant must submit a sign permit application for review by the Planning Commission.

Community Development Department Recommendation: **Approval w/ conditions.**

1. Site plan and building design shall generally conform to the plans for "1376 3RD AVE - KENNY'S GROCERY" dated 10/06/2021.
2. Site improvements shall meet all applicable Downtown Overlay District and Development Regulations of the City of Auburn.
3. Recommend brick façade under the bottom of windows on the front of the property.
4. Recommendation of fence surrounding rear of the property.
5. Recommendation of enhanced vegetative year-round screening buffer on rear and side facing Vann Street.
6. Any additional, or change in the proposed use requires approval from the City.

**RENOVATION FACADE FRONT
& NEW MODULAR STORAGES**

REVISION	DATE	DESCRIPTION

PROPERTY INFORMATION:
1376 3RD AVENUE AUBURN GA 30011

GENERAL CONTRACTOR:



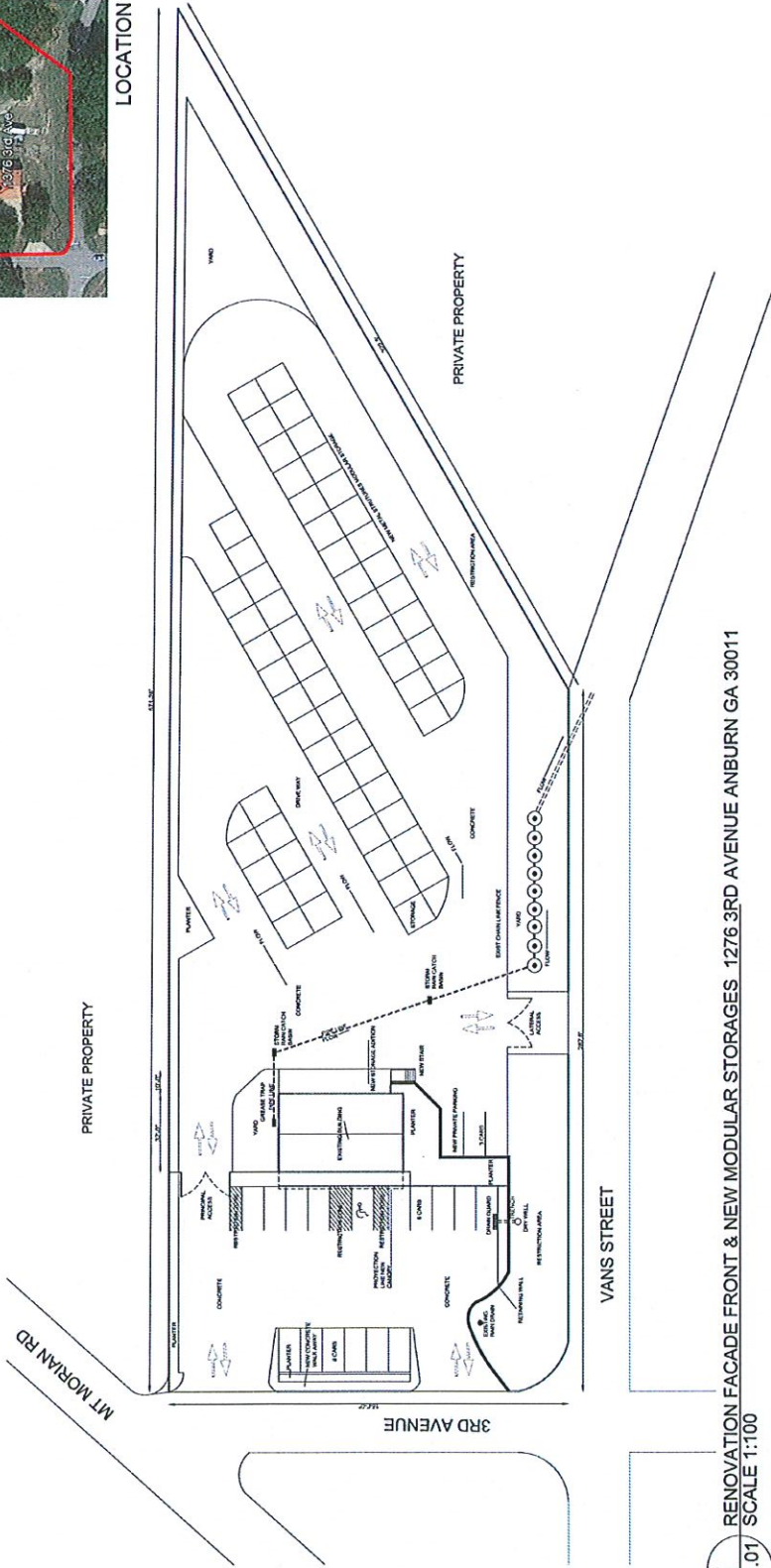
JUST CONSTRUCTION LLC
HELPE ROMAN
10475 MORNAN RD
JOHNS CREEK, GA
JUSTCONSTRUCTIONLLC@GMAIL.COM
800.729.4478

DRAWINGS PROVIDED BY:

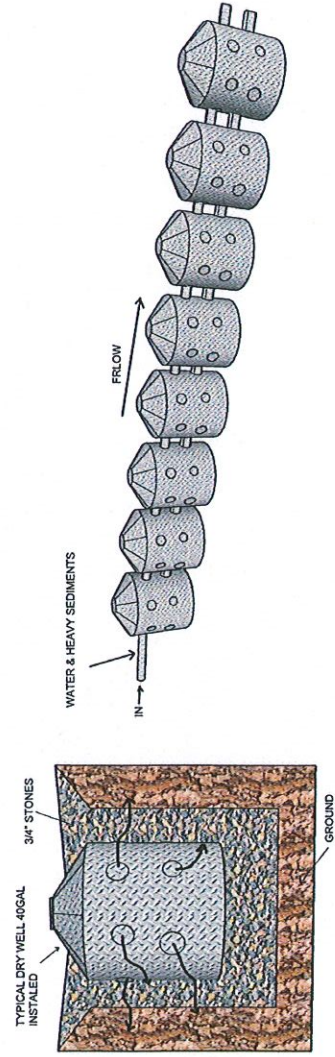
DATE:	09/17/2021
SCALE:	1:100
SHEET:	A1.01 24"X36"



LOCATION



1 RENOVATION FACADE FRONT & NEW MODULAR STORAGES 1276 3RD AVENUE ANBURN GA 30011
A1.01 SCALE 1:100



SITE PLAN

REVISION	DATE	REVISION BY	DESCRIPTION

PROPERTY INFORMATION:
1376 3RD AVENUE AUBURN GA 30011

GENERAL CONTRACTOR:



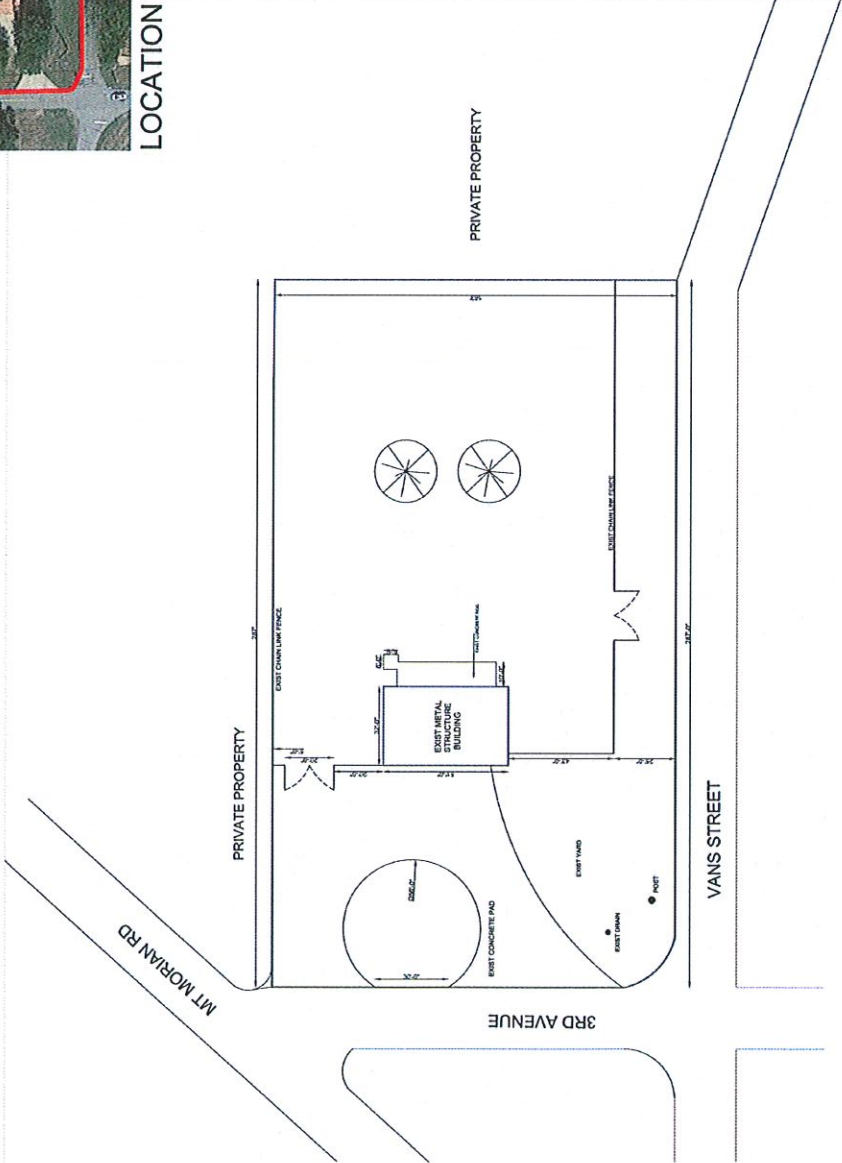
JUST CONSTRUCTION LLC
 FELIPE ROMAN
 19475 MEDLOCK BRIDGE RD
 AUSTON, GA 30814
 JUSTCONSTRUCTIONLLC@GMAIL.COM
 800-729-8476

DRAWINGS PROVIDED BY:

DATE:	09/25/2021
SCALE:	1:100
SHEET:	A1.01 24"X36"



LOCATION



1 SITE PLAN 1276 3RD AVENUE ANBURN GA 30011
 A1.01 SCALE 1:100

**STAFF REPORT
DOWNTOWN OVERLAY DISTRICT REVIEW**

**CASE NO: OAR21-002
PROPERTY: City Market Convenience Store
1334 Atlanta Hwy, Auburn, GA 30011**

APPLICANT: Mumtaz Paroo	PROPERTY OWNER: EON Petroleum Corp.
1334 Atlanta Hwy, Auburn, GA 30011	1000 Peachtree Industrial Blvd #6187
PHONE: 404-234-8256	PHONE: 404-234-8256
EMAIL: mumtazparoo@me.com	EMAIL: eonpetroleumcorp@icloud.com

Project Summary:

Owner/Applicant has requested interior and exterior modifications to existing convenience store. Plans submitted for exterior modifications are subject to review by the Planning Commission. Interior modifications have been reviewed and approved by the Fire Marshal and City Building Inspector.

Applicant proposes to construct additional storage space and walk-in cooler to the rear of the building.

According to the rendering that was submitted, insulated metal cooler panels with 8" CMU stem wall foundation. An 8' privacy fence will screen the new cooler from HWY 29.

*** Where the Commission determines that said plans do not comply with the requirements of this chapter, then the Commission shall notify the applicant in writing stating the manner in which said applicant fails to comply with such requirements. Any appeal of the Planning Commission's decision in this regard shall be to the Mayor and City Council.***

Development Standards:

Code Section	Required	Meets Requirement?
17.91.050(1)	One entrance that faces the street	Yes
(2)(a) Façade Design	Front, side, and rear façade style shall be in accordance with Victorian, Arts and Crafts, or Art Deco.	Yes. Adding architectural elements to existing building may meet the intent of the district.
(2)(b)	Minimum of 75% of street-facing façade must be comprised of clear windows that allow views of indoor space or product display areas.	N/A

(2)(c)	Use of bare metal, aluminum siding, metal panels, plastic, and mirrored glass shall be prohibited.	No.
(2)(e)	Exterior colors shall be compatible with the colors on adjacent buildings. Proposed colors shall be specified on the site plan. Colors must be in accordance with the preset palette of accepted colors for the district.	Yes. Architectural renderings submitted indicate the building would match existing building color.
(3)(a) Side or Rear Façade Design	Materials and features similar to those present on the front of the building shall be used on the side or rear façade.	Yes. Architectural renderings submitted indicate the building would match existing building color.
(3)(b)	Dumpster and service areas shall be completely screen with landscaping, a fence, a wall, or a combination thereof.	N/A
(3)(c)	Open areas shall be landscaped. Provide foundation plantings adjacent to the building.	N/A
(3)(d)	Sidewalks and parking areas shall be properly lighted to facilitate safe movement of pedestrians and vehicles.	N/A
(4) Awnings	n/a	A covered porch shall remain.

(5)	<p>Exterior lighting must be placed and shielded so as to direct light onto the site and away from adjoining properties. Floodlights, wall pack units, other types of unshielded lights, and lights where the lens is visible outside of the light fixture shall be prohibited, except where historical-style lighting is used that is compatible with historic-style street lamps installed by the City. Neon lighting as accent lighting is prohibited.</p>	N/A
(6)(a) Parking	<p>No new parking lot shall be created nor an existing parking lot expanded in front of a building unless the Planning Commission determines that parking in front of the building would be acceptable for either the following reasons. 1) front yard parking is required to maintain the continuity of front building setbacks in the block while making efficient use of the site, or 2) required for traffic safety and to minimize driveway curb cuts where the new parking lot is proposed to connect with one or more parking lots on adjoining parcels.</p>	N/A
(7)(a) Landscaping	<p>Provide street trees at 25' increments.</p>	N/A
(7)(b)	<p>Landscape Plan shall be submitted for review and approval.</p>	N/A

(8) Setbacks	Max front yard setback shall be 10'. Side yard setback may be zero (0) where buildings meet fire codes. Minimum rear setback shall be 5'.	Existing building meets current requirements for front setbacks.
(9) Building Height	Shall not exceed 45' or three stories.	N/A
17.91.060 Signage	Roof top signs are prohibited	N/A

Community Development Department Recommendation: **Approval w/ conditions.**

1. Site plan and building design shall generally conform to the site plan titled "CITY MARKET CONVENIENCE STORE" dated /20/2021.
2. Site improvements shall meet all applicable Downtown Overlay District and Development Regulations of the City of Auburn.
3. All sidewalks will be ADA compliant.
4. No accessory structures, appliances, apertures, or merchandise is permitted to display on the front façade.
5. All signage requires permitting of the new façade, and is permitted separately. Any sign found in the window, or outside the building not having a permit is subject to citation.



CITY MARKET CONVENIENCE STORE
 1334 ATLANTA HWY
 AUBURN, GEORGIA 30011

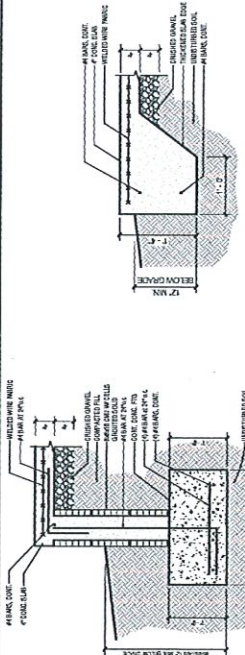
NO.	REVISION	DATE
1	ISSUE FOR PERMIT	02/01/2007
2	REVISED PER CITY COMMENTS	02/05/2007
3	REVISED PER CITY COMMENTS	02/05/2007
4	REVISED PER CITY COMMENTS	02/05/2007

FLOOR/PAVE
 A101
 DATE: 02/01/07

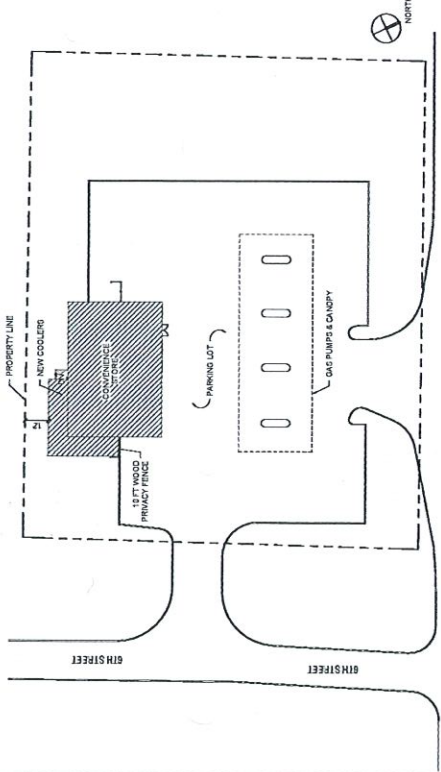
- GENERAL NOTES**
1. ALL NEW WALLS ARE 24" AND OTHERS AT 18" O.C. AND VERIFIED SET CORE CONCRETE WORK. BUILDING CODES AND COOLERS ARE TO BE SPECIFIED BY THE OWNER. ALL FINISHES TO BE COORDINATED WITH OWNER AND SUPPLIERS DURING DEMOLITION OF EXISTING STRUCTURE.

FLOOR PLAN LEGEND

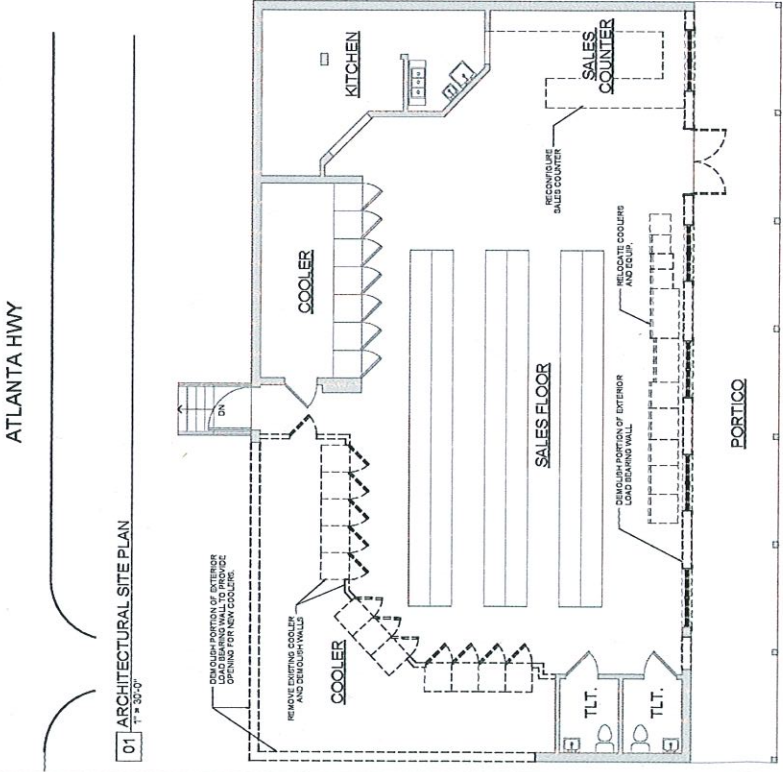
- EXISTING WALLS TO REMAIN
- DEMOLISHED WALLS
- NEW CONSTRUCTION WALLS



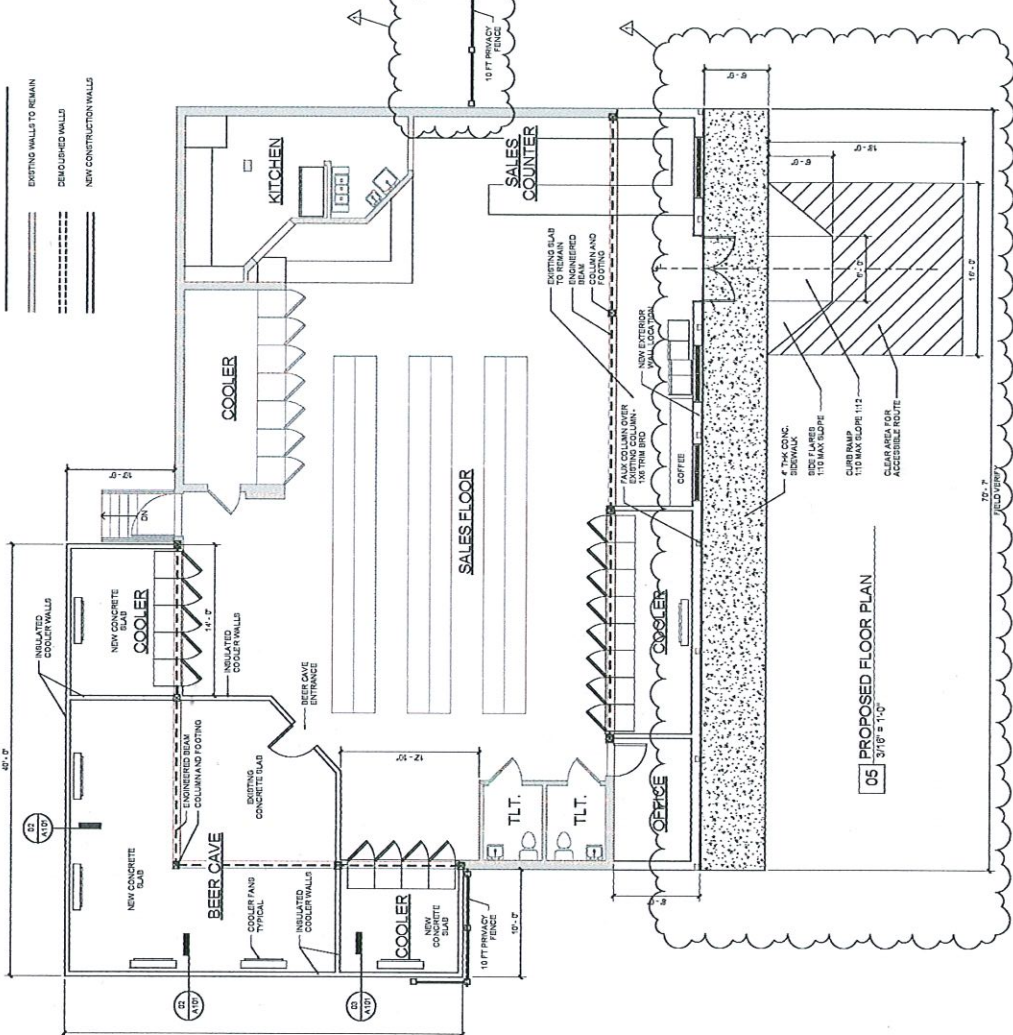
01 ARCHITECTURAL SITE PLAN
 1" = 30'-0"



02 DEMOLITION FLOOR PLAN
 3/16" = 1'-0"



03 PROPOSED FLOOR PLAN
 3/16" = 1'-0"



04 THICKENED SLAB EDGE
 1" = 1'-0"



05 FOUNDATION DETAIL
 1" = 1'-0"



06 FLOOR PLAN LEGEND

- EXISTING WALLS TO REMAIN
- DEMOLISHED WALLS
- NEW CONSTRUCTION WALLS



G&P ARCHITECT
DANIEL R. ROBERT, AIA, LEED AP
ARCHITECTS

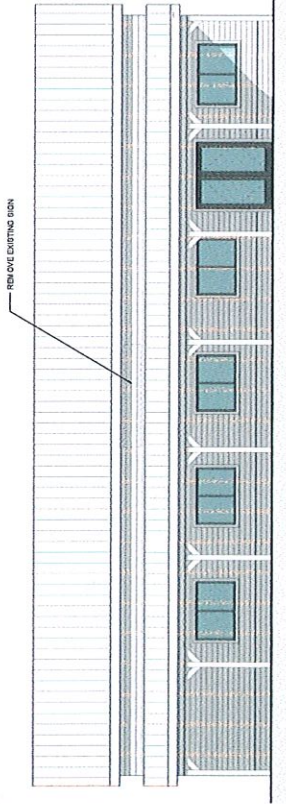


CITY MARKET CONVENIENCE STORE

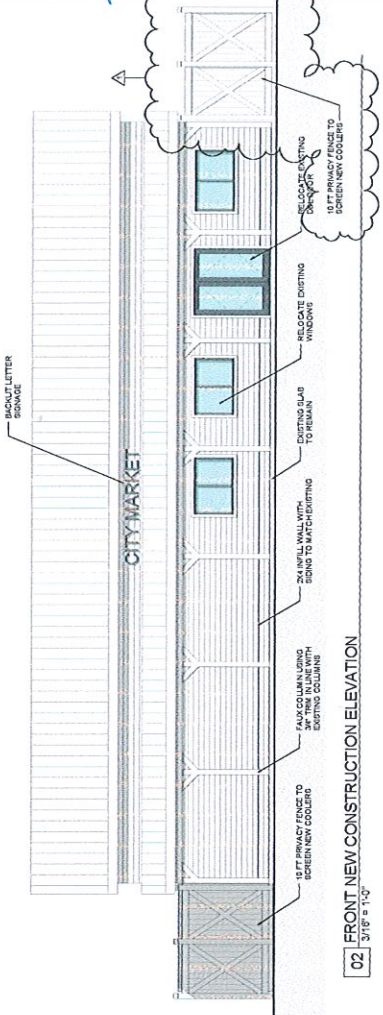
1334 ATLANTA HWY
AUBURN, GEORGIA 30011

NO.	DESCRIPTION	DATE
1	PRELIMINARY	1/2023
2	SCHEMATIC DEVELOPMENT	2/2023
3	DESIGN DEVELOPMENT	3/2023
4	PERMITTING	4/2023
5	CONSTRUCTION	5/2023

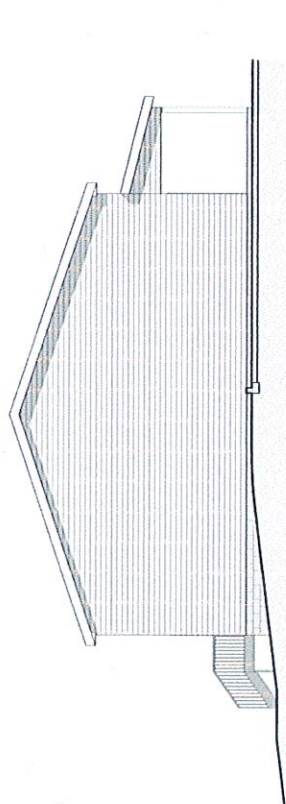
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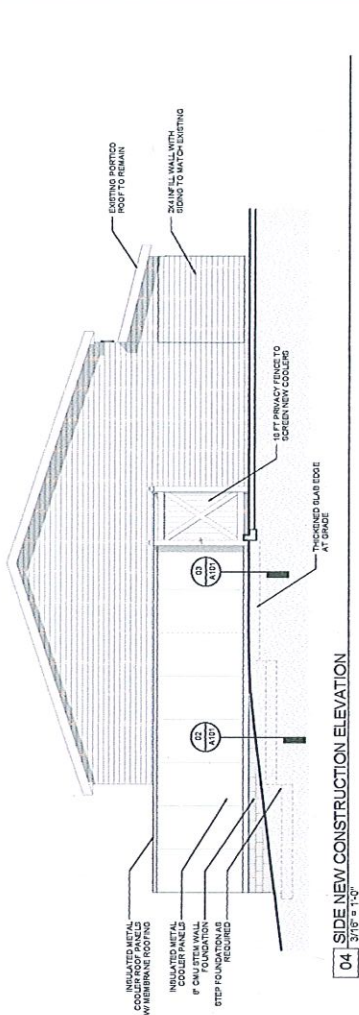
01 FRONT EXISTING ELEVATION
3/16" = 1'-0"



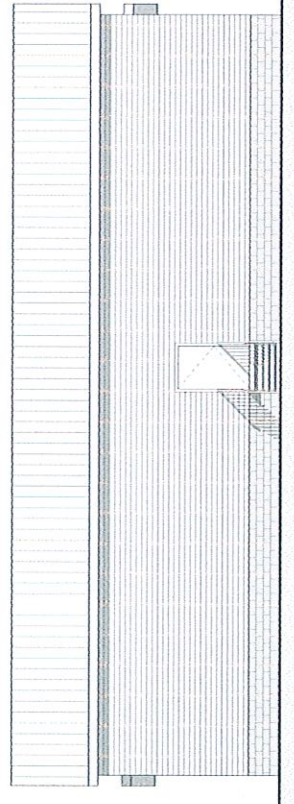
02 FRONT NEW CONSTRUCTION ELEVATION
3/16" = 1'-0"



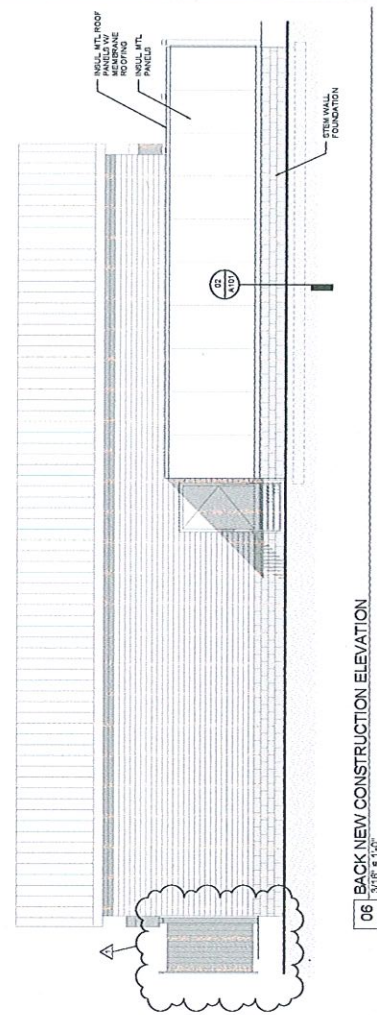
03 SIDE EXISTING ELEVATION
3/16" = 1'-0"



04 SIDE NEW CONSTRUCTION ELEVATION
3/16" = 1'-0"



05 BACK EXISTING ELEVATION
3/16" = 1'-0"



06 BACK NEW CONSTRUCTION ELEVATION
3/16" = 1'-0"